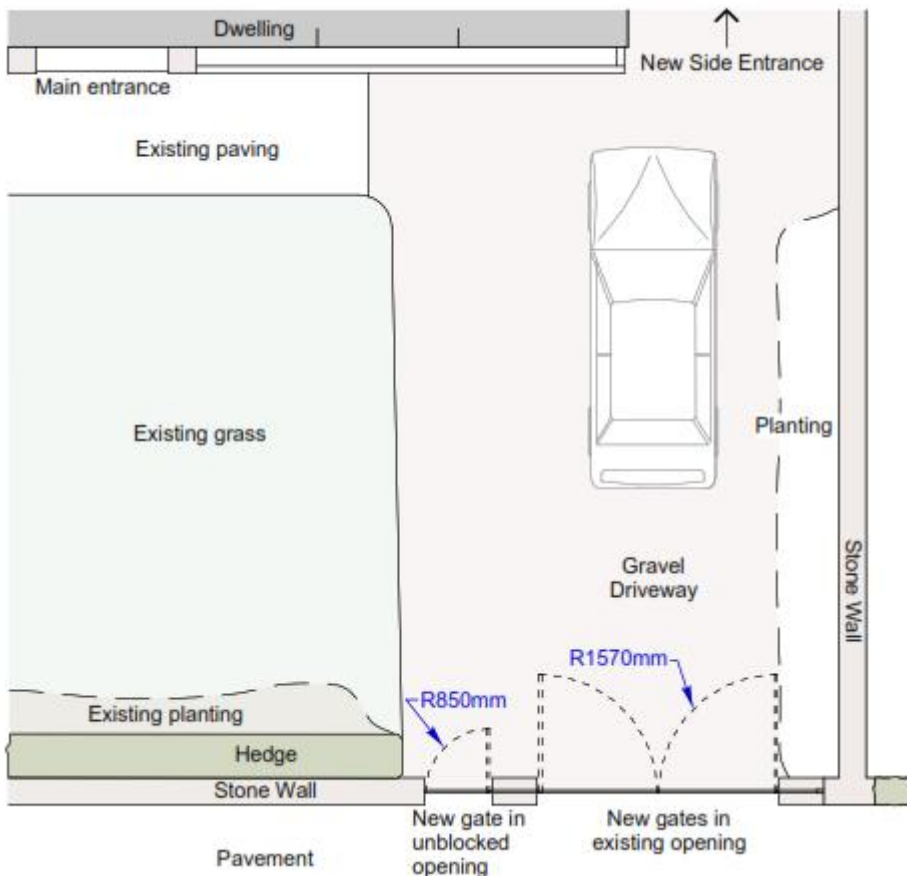


From: planning@grangeassociation.com
Sent: 13 September 2021 10:03
To: 'Tom.Hutchinson@edinburgh.gov.uk'
Cc: 'info@roxburghmcewan.co.uk'
Subject: 25 Lauder Road EH9 2JG - NMV 19/03835/VARY
Attachments: 02-EXISTING__PROPOSED_FRONT_GARDEN_PLANS__PROPOSED_ELEVATIONS-5113931.pdf

Dear Tom,

I see that you are the Case Officer assessing [19/03835/VARY](#). We have no objections in principle to what is being proposed here, but we note the inconsistency in the attached drawing. This includes the elevation drawing with the dimensioned 3m width of the driveway entrance, consistent with page 19 of the [Householder Guidance](#). However, the plan view on the same drawing shows two gates, each rotating around their pivot points with a radius of 1570mm, implying a total width of at least 3.14m. Can you ask the applicant please to amend the drawing to ensure consistency and that the entrance is no wider than 3m, consistent with the Householder Guidance? We are keen that as much of the stone wall is retained as possible.



With thanks and kind regards,

Nigel Ayton

Grange Association,
Planning



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