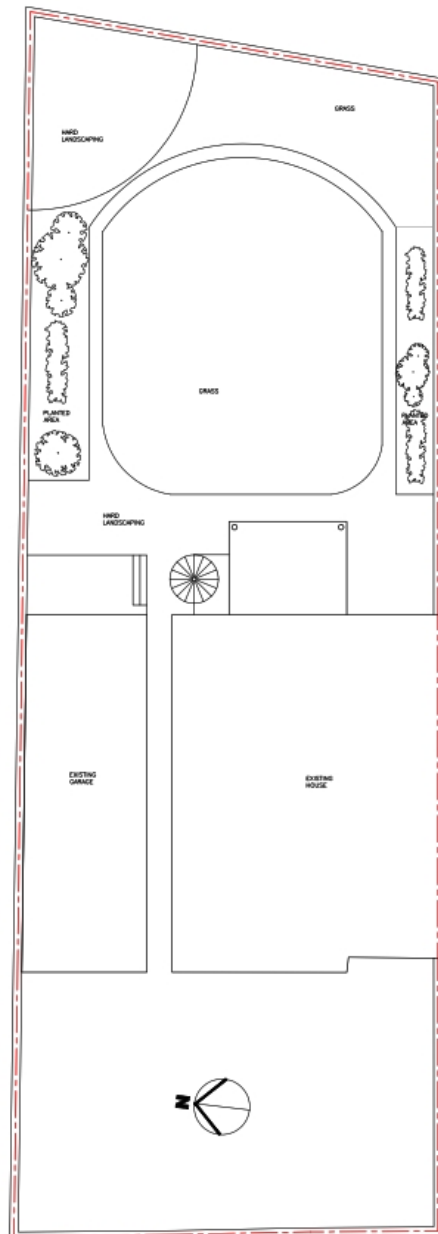


**47 Lauder Road EH9 1UE**  
**Planning Application 21/05410/FUL**  
**OBJECTION from Grange Association**  
**12 November 2021**

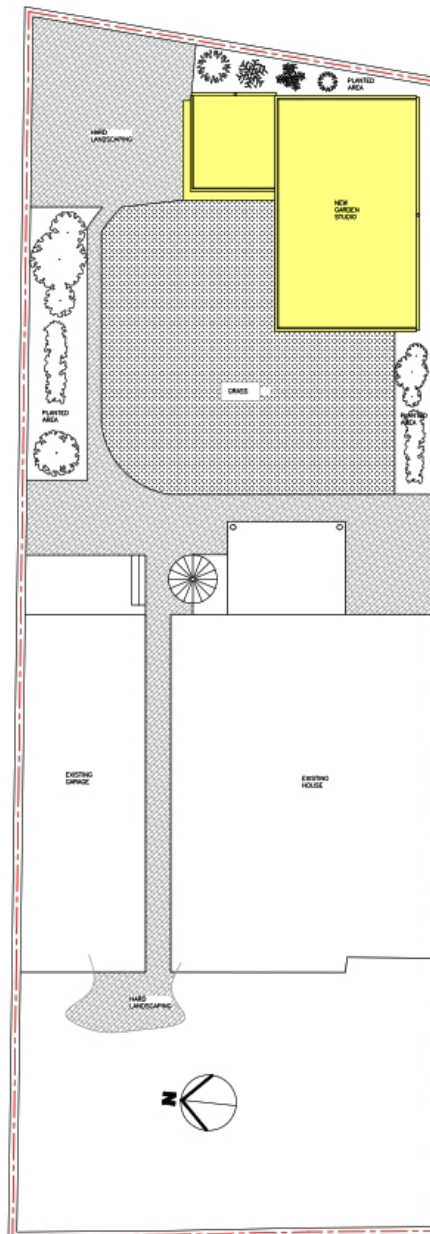
This application is for an L-shaped ‘garden studio room’ in the grounds of this B-listed villa. There are a number of recent examples of garden rooms being approved for development in rear gardens in the Grange. However, this proposal is exceptional in its scale, height and form and we request that it be refused. Our objections concern:

1. The proportion of the site that would be consumed by the studio room;
2. The excessive height, causing overshadowing and loss of amenity to neighbours;
3. The harmful effect on the setting of this B-listed villa.

**1. The proportion of the site that would be consumed by the studio room**



Existing site plan



Proposed site plan

The proposal is for a studio room of two elements which together would have a footprint of 53m<sup>2</sup>, which is 8% of the total plot and 37% the size of the original villa. This would increase the amount of the site covered by buildings, garages and access driveways to 48%, greater than the 40% maximum specified in the [Householder Guidance](#) (page 10) for villas.

• *Maximum site coverage of all buildings, garages, parking and access driveways should not exceed 40% of the site area*

*Householder Guidance (page 10)*

Additional hard landscaping is proposed that will increase the proportion of the site coverage to 66%, leaving only one third of the site available for gardens.

	Footprint (m <sup>2</sup> )	PRESENT ARRANGEMENT		PROPOSED ARRANGEMENT	
		% of original villa	% of plot	% of original villa	% of plot
Original villa	142	100%	22%	100%	22%
Garage	68	48%	10%	48%	10%
<b>Garden studio</b>	<b>53</b>	-	-	<b>37%</b>	<b>8%</b>
Total site coverage - buildings and garages		<b>148%</b>		<b>185%</b>	
Driveway	55		8%		8%
Total site coverage - buildings, garages, driveways			<b>40%</b>		<b>48%</b>
Rear hard landscaping (proposed)	120				18%
Total site coverage - buildings and hard landscaping					<b>66%</b>
Rear soft landscaping (proposed)	136				21%
Front soft landscaping	86				13%
<b>TOTAL SITE</b>	<b>660</b>				<b>100%</b>

47 Lauder Road – present and proposed site coverage

The Council’s Householder Guidance includes special guidelines (page 10) for extensions and alterations to villas, whether they are listed or not. The scale of the proposed new accommodation here, with a footprint 37% that of the main villa, places it in the category of an extension, not some minor garden outhouse. These special guidelines should therefore be applied.

**Special guidelines apply to extensions and alterations to villas:**

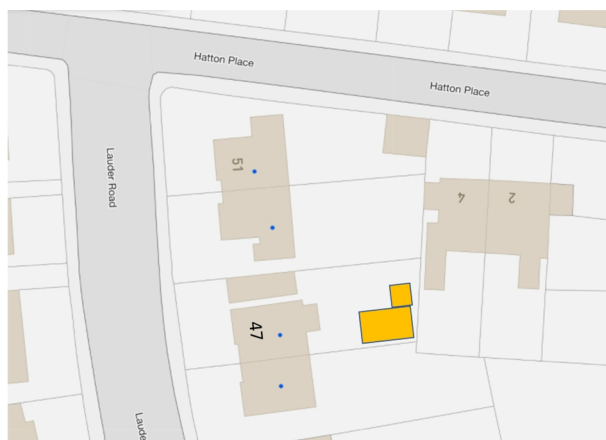
- The character of the original villa should not be adversely changed as a result of the extension
- When complete, the whole building, including the original villa and the extension should still be in character with the scale and spacing of the surrounding properties and rhythm of the street
- The design approach – including form, scale, style, proportions including windows, storey heights and materials – should relate to the original building and be subservient to it
- **Total site coverage of the new and existing building should not exceed 1.5 times the original villa, subject to:**
- **Maximum site coverage of all buildings, garages, parking and access driveways should not exceed 40% of the site area, and**
- **Distances from the main facades to the boundaries being at least 12.5m**

Householder Guidance (page 10) – Special guidelines for villas

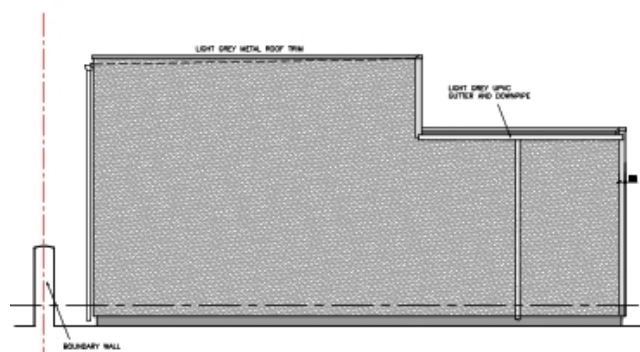
The present configuration complies with these special guidelines. The non-original garage has a footprint just less than half that of the original villa; the total site coverage of all buildings, garages and access driveways is currently 40% of the site area; the rear elevation is nearly 20m from the rear site boundary.

However, the proposals would breach all of the final three guidelines above: with the garden studio, the total site coverage of new and existing buildings would be 1.85 times the original villa; the site coverage of all buildings, garages and access driveways would be 48% of the site area; the rear façade of the studio room would be just 0.6m from the rear boundary wall.

## 2. The overshadowing and loss of amenity to neighbours



47 Lauder Road with proposed studio



Proposed East elevation

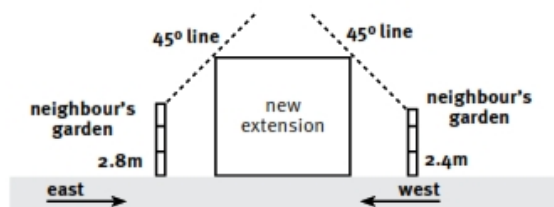
47 Lauder Road backs onto the west side boundary of 4 Hatton Place. The proposed location for the studio room would obscure the only section of the west boundary of 4 Hatton Place that is garden space. The proposed height of the new room, at 4.14m is excessive and would shade the neighbour's garden, casting shadow with the evening sun.

Other recent grants of planning permission for garden rooms have been for more modest heights, for example:

			<u>Height</u>
<a href="#">21/04618/FUL</a>	6B Strathearn Road EH9 2AH:	Garden room	2.5m
<a href="#">21/04540/FUL</a>	23 Dick Place EH9 2JU:	Garden building	2.5m
<a href="#">21/01000/FUL</a>	25A Dalrymple Crescent EH9 2NX:	Garden room	2.4m

The applicant has provided no supporting statement to explain why this proposed garden studio needs to be so abnormally high. As the applicant's East elevation drawing shows (reproduced above) the studio would tower above the existing boundary wall, presenting an unrelenting expanse of cement render to the neighbours.

The [Householder Guidance](#) (page 13) specifies the minimum sunlight that must be protected for existing developments. It includes the simple 45-degree method, which specifies that sunlight from the west should be available at a 45° angle from a line 2.4m above the ground. The proposed development, with a 4.1m building just 0.6m from the wall, fails this test.



Householder Guidance (page 13)

### 3. The harmful effect on the setting of this B-listed villa.

#### **New Development**

*Where new development within the grounds of a listed building is acceptable, the siting, design, scale, form, density and materials should be sympathetic to the listed building, including ancillary buildings.*

*The feeling of spaciousness of the grounds in relation to the main building should be protected for the amenity of the property. The scale of new development should be controlled so as not to crowd or obscure the house. No building of similar or greater bulk should be erected close to the main listed building.*

*The relationship that exists between the main house and its ancillary uses should not be disrupted by the new build.*

*Listed Buildings and Conservation Areas (page 22)*

The scale, proportions and materials of this proposed garden studio would be a major alien intrusion into the grounds of this listed villa, wholly unsympathetic to the design and setting of the main villa. By breaching the guideline of a maximum 40% of the site being developed, this studio room would destroy any feeling of spaciousness that exists within the grounds. It would crowd and obscure the main listed building.

We request that the application be refused.

Grange Association  
12 November 2021