

Planning Application 22/01131/FUL - 41 Lauder Road EH9 1UE

OBJECTION from Grange Association

7 April 2022

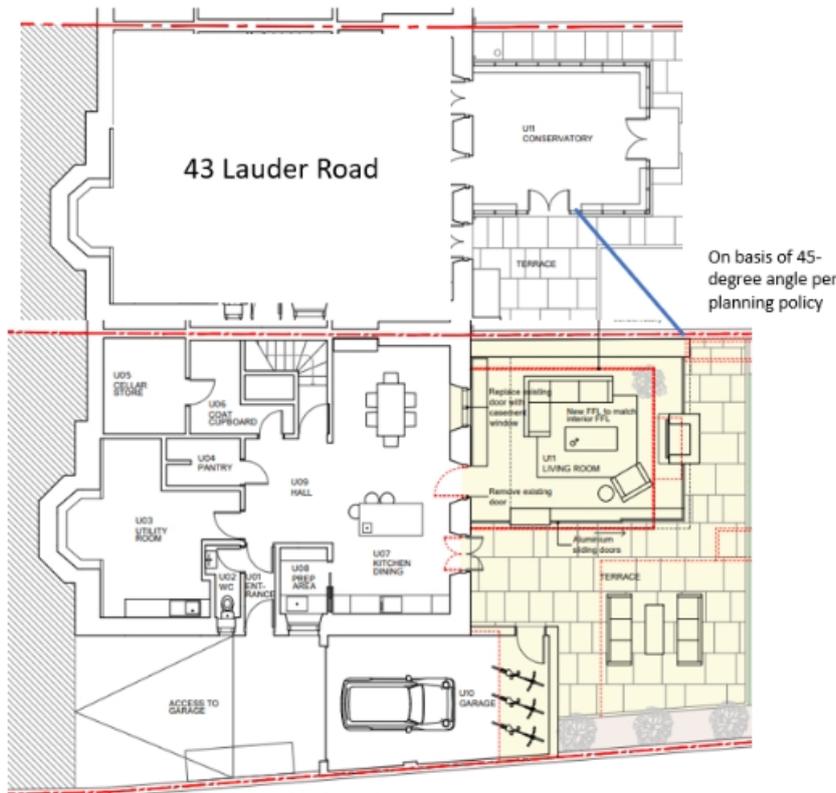
We have reviewed planning application [22/01131/FUL](#) and submit this objection, relating to:

- (A): The loss of daylight to the rooms at the rear of the neighbouring property;
- (B): The loss of sunlight to the neighbouring garden on the north; and
- (C): The construction of a chimney exhausting at first floor level.

A: Loss of daylight to existing buildings

We are aware of the objection submitted by the neighbour at 43 Lauder Road and we endorse elements of that commentary, specifically with reference to the diagrams below which we reproduce to show the loss of daylight to the dining room and conservatory of that property.

The [Householder Guidance](#) demonstrates, at page 12, this 45 degree test to check whether daylight will be maintained to a neighbouring property following the construction of a new extension.



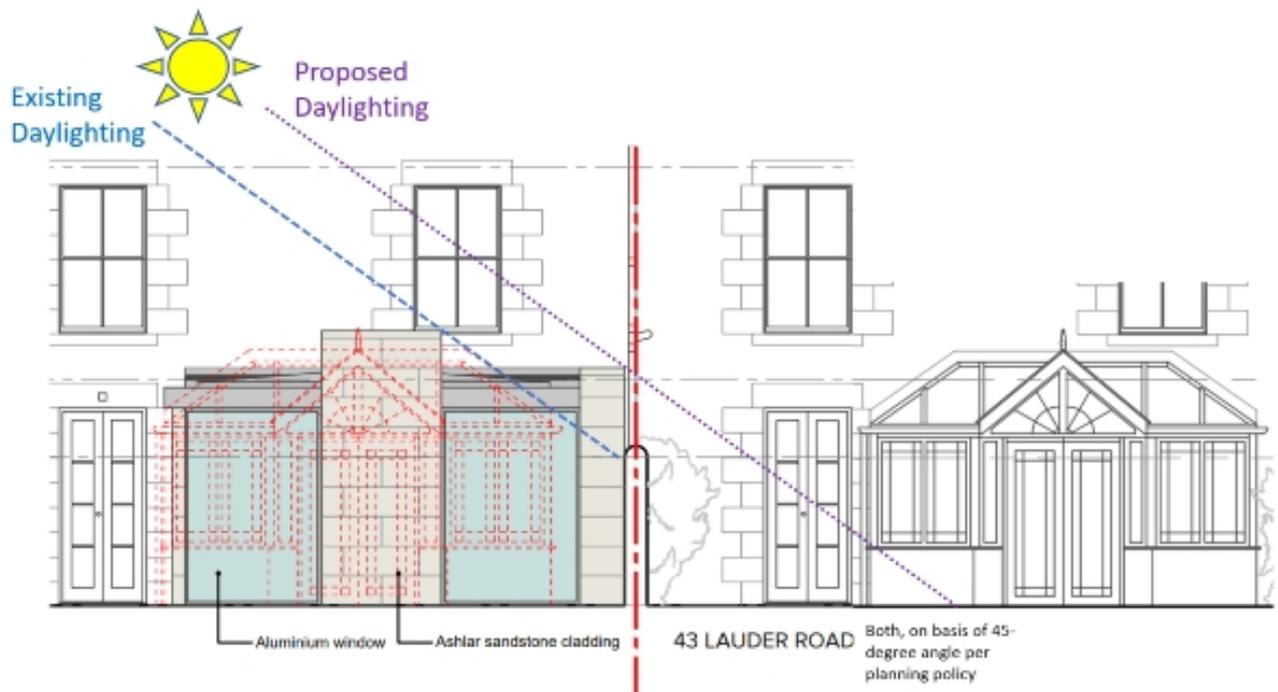
Plan view of proposals, showing loss of daylight to rear of 43 Lauder Road (Courtesy L Baggallay)

For rear extensions on terraced or semi-detached houses, adequate daylight will be maintained to the neighbouring property if 45 degree lines drawn from the plan or section of the new extension do not enclose the centre of the neighbour's window. The 45 degree test is taken at the midpoint of monopitched roofs.

Not acceptable because the centre of the window is within the 45° lines

Householder Guidance (Nov 2021), page 12

The proposals for 41 Lauder Road would fail to maintain the daylight to the rear of 43 Lauder Road and would shade the dining room (the double doors) and the conservatory.

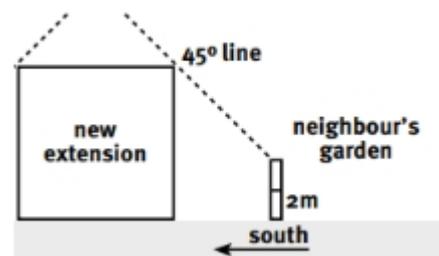


Proposed rear elevation, showing loss of daylight to rear of 43 Lauder Road (Courtesy L Baggallay)

B: Loss of sunlight to neighbouring garden

The [Householder Guidance](#) specifies (page 13) that, *where development is located to the south...of a garden, if it rises above a 45 degree line to the horizontal which is set 2m from the ground level, the sunlight to the garden may be adversely affected.*

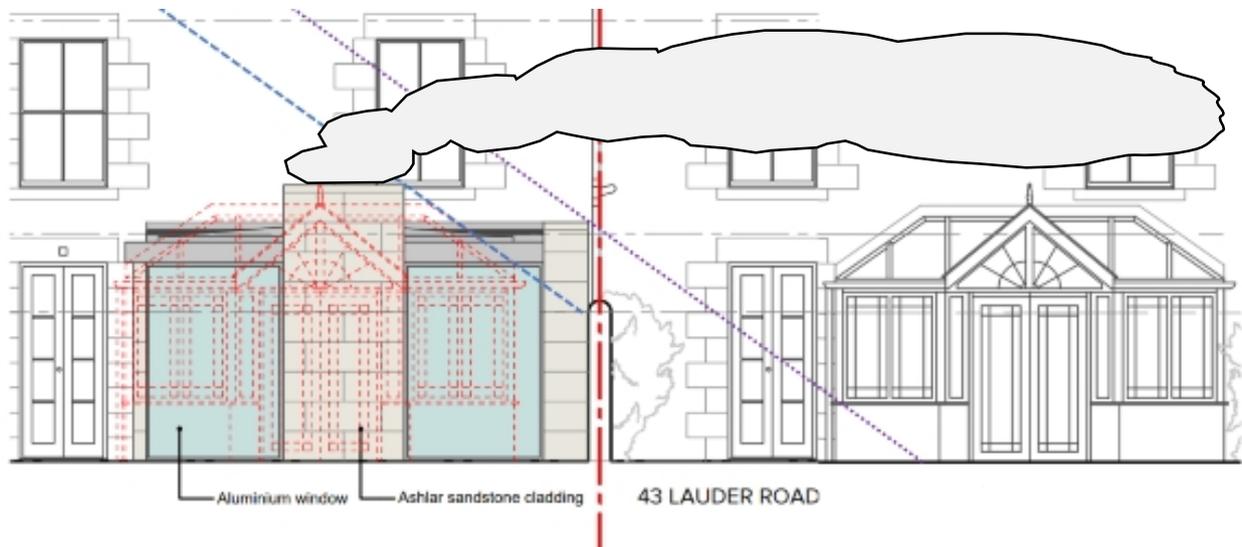
For this proposal, the extension will be 3.2m high abutting the boundary wall, built on ground already about 0.2m higher than the neighbour’s garden at 43 Lauder Road. For the 45 degree test to be met, the proposed extension’s northern wall would need to be relocated south, away from the site boundary wall, by at least 3.4m.



Householder Guidance (Nov 2021), page 13

C: Chimney exhausting at first floor level

The plans include a chimney on the East wall of the proposed extension but give no details of the stove or fire for which the chimney is to be used. The exhaust fumes from any fossil-fuelled fire will be a nuisance to neighbours in their garden and when the first-floor windows are open and we request that the chimney be removed from the proposals.



Proposed chimney on East wall of extension

We request that the applicants be invited to amend the proposals as a minimum to:

- Move the northern wall of the extension at least 3.4m to the south of the boundary; and
- Delete the chimney from the proposals.

In the absence of these changes, we request that the application be refused.

Grange Association
7 April 2022